

# WARD RESIDENCE

913 7th ST, NE WASHINGTON, DC 20002

## PROJECT DATA

OWNER: SEAN WARD

EXISTING: PER DCMR12-A2, TWO STORY + CELLAR ROW DWELLING  
 PROPOSED: TWO STORY + CELLAR + ATTIC ROW DWELLING  
 PROJECT DESCRIPTION: REMODEL & ADDITION, LIGHTFRAME

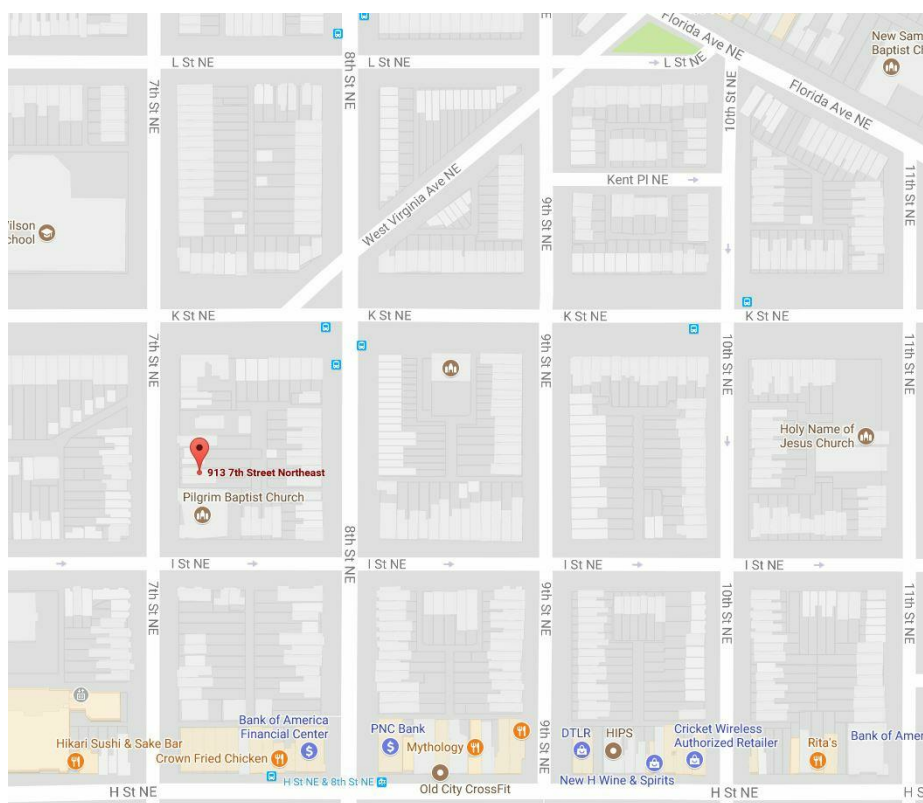
## ZONING DATA

LOT 46  
 SQUARE 0888  
 ZONE RF-1  
 USE GROUP R-3  
 CONSTRUCTION TYPE VB

## PROJECT TABULATIONS

	EXISTING	PROPOSED	
LOT	2,082 SF	2,082 SF	NO CHANGE
LOT COVERAGE	728 SF	926 SF	CHANGE
PERCENTAGE	35%	44.5%	CHANGE
HEIGHT	27'-6"	29'-6"	35'-0" MAX
STORIES	2 + C	2 + C + ATTIC	

## VICINITY MAP (NTS)



## APPLICABLE CODES

Title 12 DCMR, DC Construction Codes Supplement (2013)  
 Notices of Emergency and Proposed Rulemaking, 12 DCMR (2013) (DC Register, May 9, 2014)  
 DCMR 12 DC Construction Codes Supplement (2008)  
 Amendment to DCMR 12 DC Construction Codes Supplement (2008)  
 Complimentary access to electronic copies of 7 of the 2013 DC Construction Codes integrating the 2012 ICC Codes and the corresponding DC construction Code Supplement as provided below.

2013 District of Columbia Building Code  
 2013 District of Columbia Property Maintenance Code  
 2013 District of Columbia Green Construction Code  
 2013 District of Columbia Energy Conservation Code  
 2013 District of Columbia Fire Code  
 2013 District of Columbia Mechanical Code  
 2013 District of Columbia Plumbing Code  
 2012 ICC Building Codes  
 2012 ICC Existing Building Code  
 2012 ICC Fuel Gas Code  
 2012 ICC Residential Code for One- and Two- Family Dwellings  
 2012 ICC Swimming Pool and Spa Code

## FIRE RATING DATA

FIRE ALARM: NO  
 SPRINKLER: NO  
 FIREDETECTION: HARDWIRED, INTERCONNECTED SMOKE / CO2 DETECTORS W/ BACK-UP  
 BATTERY: BACK-UP

ACCESSIBILITY: NO

## BUILDING ASSEMBLY:

-EXTERIOR LOAD BEARING FACE-ON-LINE WALLS:  
 ONE HOUR RATED WOOD FRAME W/ VENEER  
 -EXTERIOR LOAD BEARING WALLS:  
 TWO HOUR RATED WOOD FRAME W/ VENEER  
 -FLOOR FRAMING:  
 ZERO HOUR RATED, 2X8 WOOD JOISTS @ 16"OC  
 -ROOF FRAMING:  
 ONE HOUR RATED W/IN 4' OF P.L. - 2X12 RAFTERS OR TWO HOUR RATED PARAPET WALL TO 30" ABOVE ROOF

## ENERGY REQUIREMENTS

Climate Zone	Fenest. U-Factor	Skylight U-Factor	Glazed Fenest. SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
4 except Marine	0.35	0.55	0.40	49	20 or 13+5	8/13	19	10/13	10, 2ft	10/13

## DESIGN / LIVE LOADS

FLOORS 40 PSF  
 ROOF 30 PSF MINIMUM  
 EARTHQUAKE LOADS: SEISMIC DESIGN CATEGORY A, PER IRC R301.2

SOIL BEARING: 1500 PSF, ASSUMED SANDY CLAY, PER IRC R401.4.1

## HOUSE

LIVE LOAD: 40PSF  
 WIND LOAD: 90 MPH, 3 SECOND WIND GUSTS, 20 PSF MINIMUM

## CONCRETE

FOR FOOTINGS TO BE MINIMUM 3,000 PSI, NORMAL WEIGHT, AIR ENTRAINED

## WOOD

STRUCTURAL MEMBERS TO BE NON ARSNI, SOUTHERN PINE SS EXTREME FIBER STRESS IN BENDING 1200 PSI  
 MODULES OF ELASTICITY 1.4X10-6 PSI  
 ALLOWABLE DEFLECTION 1/360 OF SPAN

LATERAL LOAD RESISTING STRUCTURAL SYSTEM:  
 1/2" WOOD STRUCTURAL PANEL SHEATHING FOR 16" O.C. STUDS. PANELS TO BE IN ACCORDANCE WITH IRC TABLE R602.3(3)

## ROOF OF HOUSE

SNOW LOAD: 30 PSF  
 WIND LOAD: 90 MPH  
 RAFTERS TO BE SOUTHERN PINE SS EXTREME FIBER STRESS IN BENDING 1200 PSI  
 RAFTERS- MODULES OF ELASTICITY .88 PSI  
 HURRICANE TIES TO BE LOCATED 24" O.C., RATED FOR 134.22 LBS MINIMUM UPLIFT RESISTANCE

## HANDRAILS

LIVE LOAD: 200 PSF

## STAIRS:

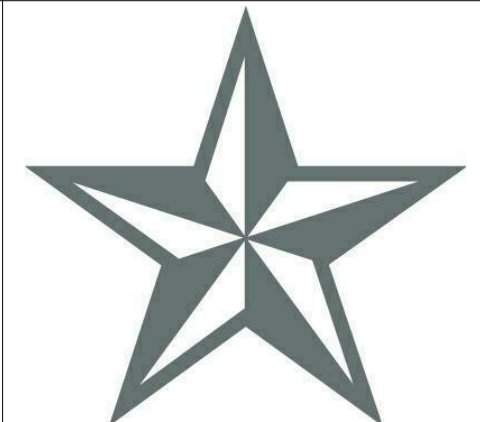
40 PSF OR 300 LBS CONCENTRATED LOAD, ACTING OVER 4 SQ INCHES

## ANCHORAGE SYSTEMS:

- ANCHORS, BOLTS, LEVELING PLATES OR BEARING PLATES TO BE LOCATED & BUILT INTO CONCRETE WORK PRESET BY TEMPLATES OR SIMILAR METHODS.
- PLATES TO BE SET IN FULL BEDS OF NON SHRINK GROUT AFTER LEVELING & ADJUSTMENT. ONE SHOP COAT OF PAINT TO BE APPLIED TO ALL
- STRUCTURAL MEMBERS EXCEPT ON THOSE AREAS REQUIRING FIELD WORK.
- ALL CONNECTIONS TO BE BOLTED WITH MINIMUM 3/4" DIA A325 OR A490 HIGH STRENGTH BOLTS OR WELDED. USE FULL DEPTH DOUBLE ANGLE
- CONNECTIONS ON ALL GIRDER AND BEAM CONNECTIONS TO COLUMNS, UNLESS OTHERWISE NOTED.
- INFILL BEAM CONNECTIONS TO BE FULL DEPTH DOUBLE ANGLE CONNECTIONS, UNLESS OTHERWISE NOTED.
- BOLTS TO BE 3" O.C. VERTICAL.

SHEET INDEX	
SHEET #	SHEET NAME

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G-0010	EROSION & SEDIMENT CONTROL
G-0011	EROSION & SEDIMENT CONTROL
D-0001	Demo Plans
A0050	SITE PLAN
A0051	EXISTING ELEVATIONS
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A-0101	Floor Plans
A-0102	Floor/Roof Plans
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A-0401	Details
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M-0101	Mechanical
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E-0102	Electrical
P-0101	Plumbing
P-0102	PLUMBING



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## OWNERS:

SEAN WARD  
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WARD RESIDENCE

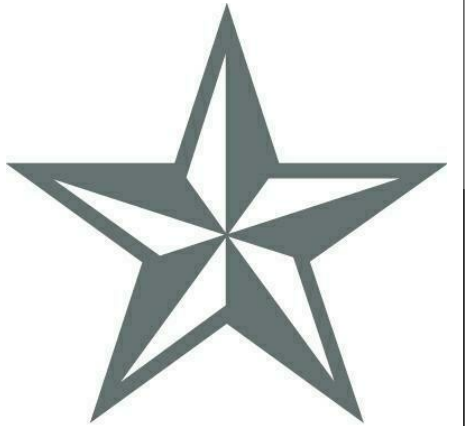
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FILE: PERMIT SET  
 Date: 4/24/2019  
 Scale: 3/16" = 1'-0"

**G-0000**

Cover  
 Board of Zoning Adjustment  
 District of Columbia  
 CASE NO. 19917A  
 EXHIBIT NO. 4



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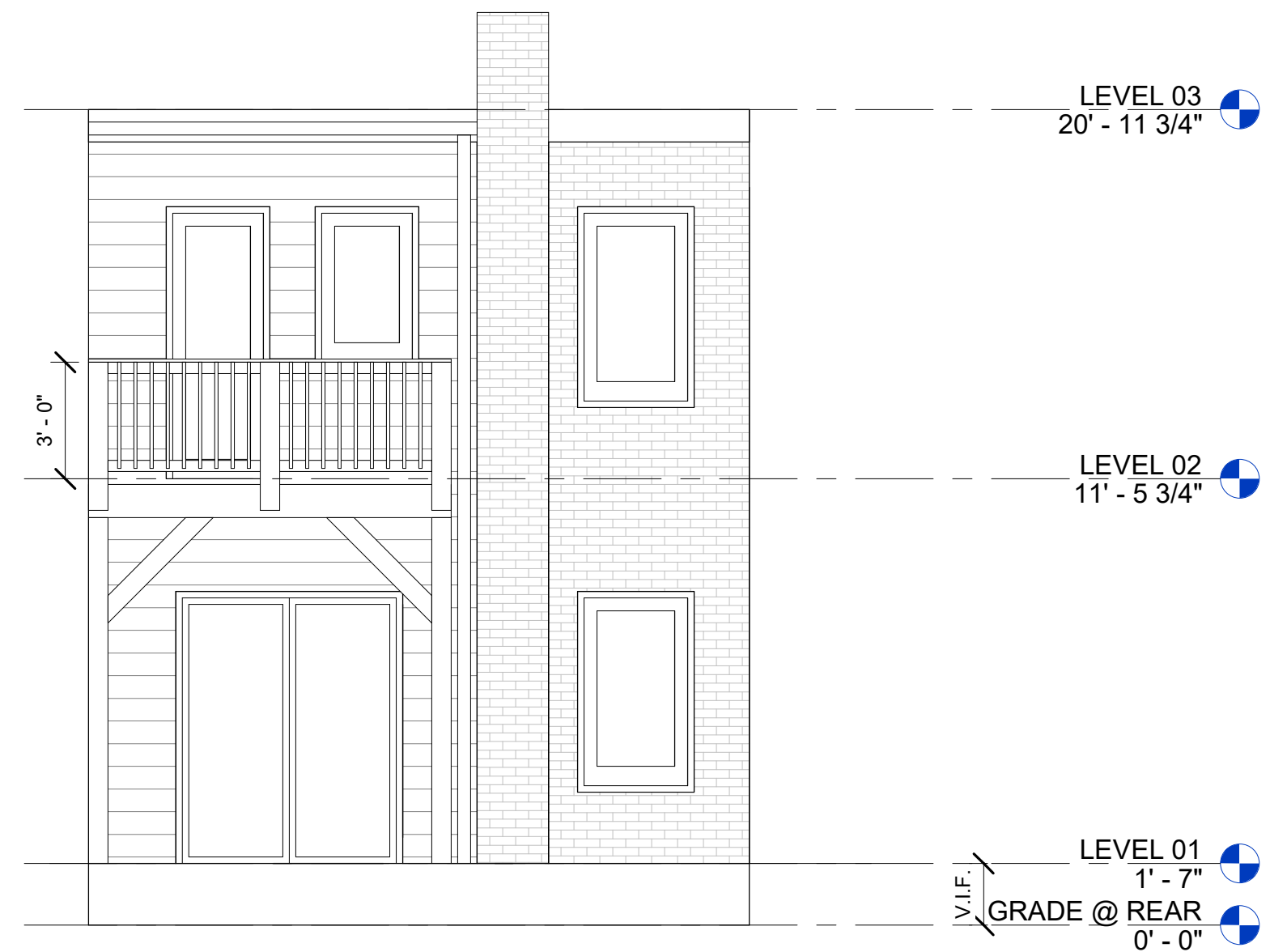
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**A0051**  
EXISTING  
ELEVATIONS

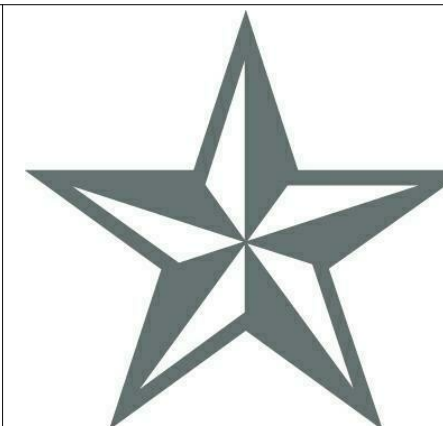
4/24/2019 12:45:43 PM



① EXISTING FRONT ELEVATION  
1/4" = 1'-0"



② EXISTING REAR ELEVATION  
1/4" = 1'-0"



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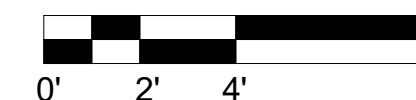
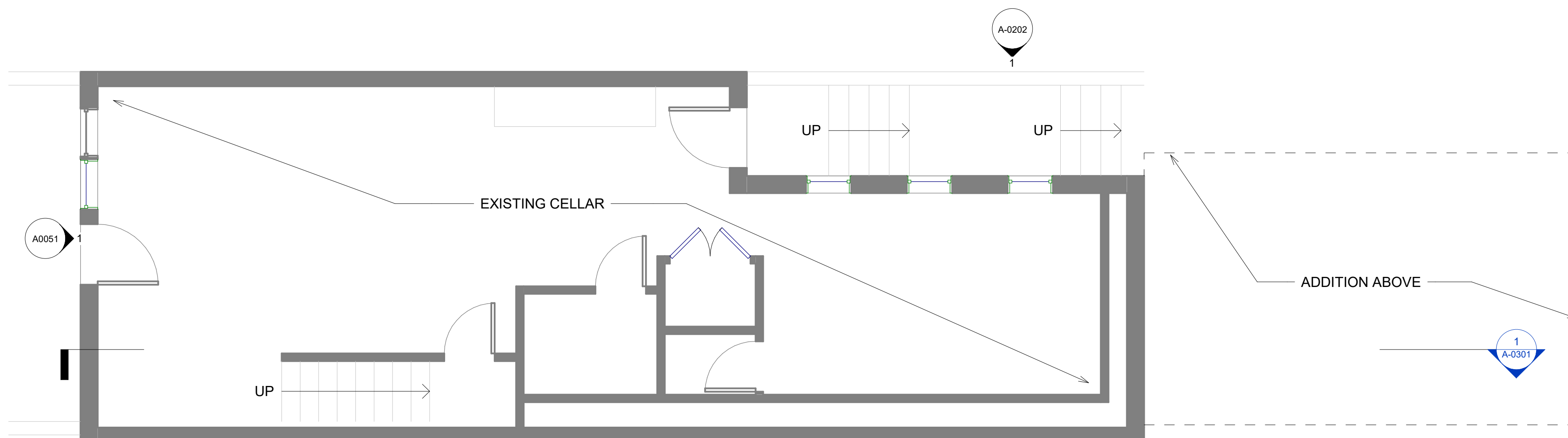
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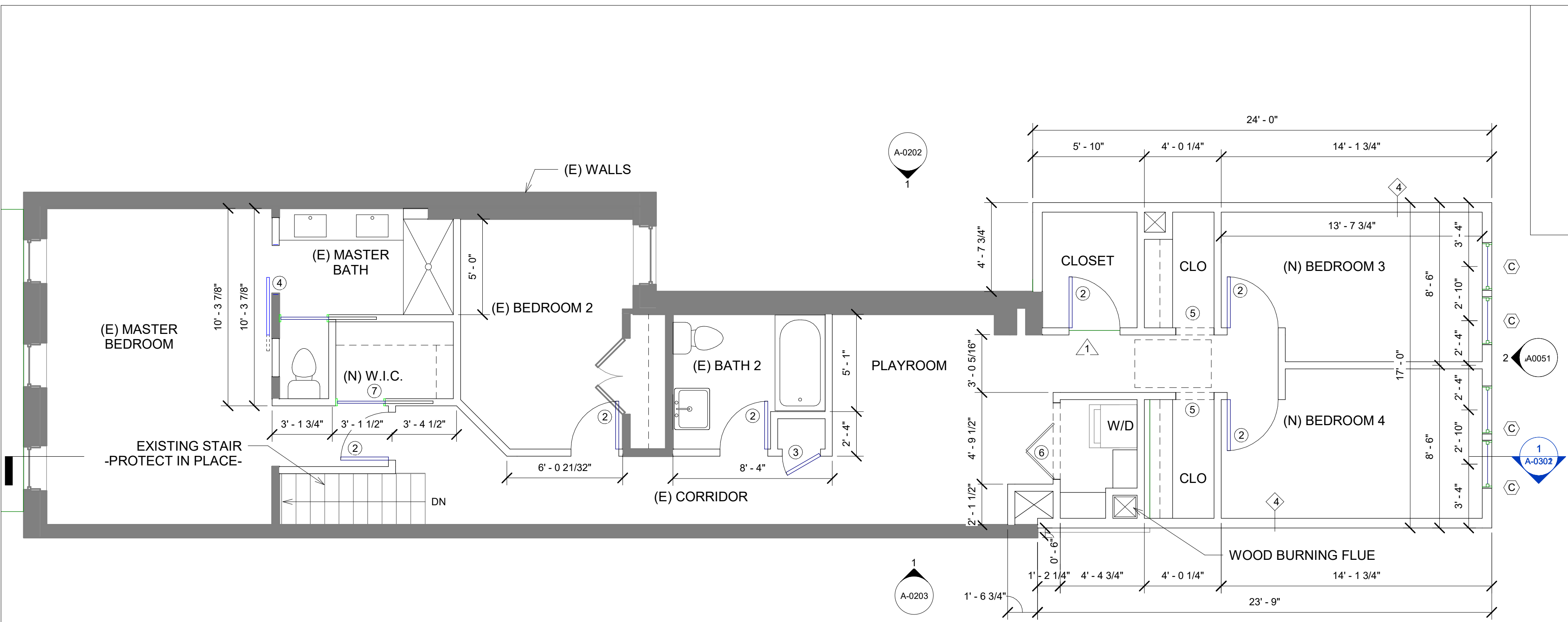
**WARD RESIDENCE**

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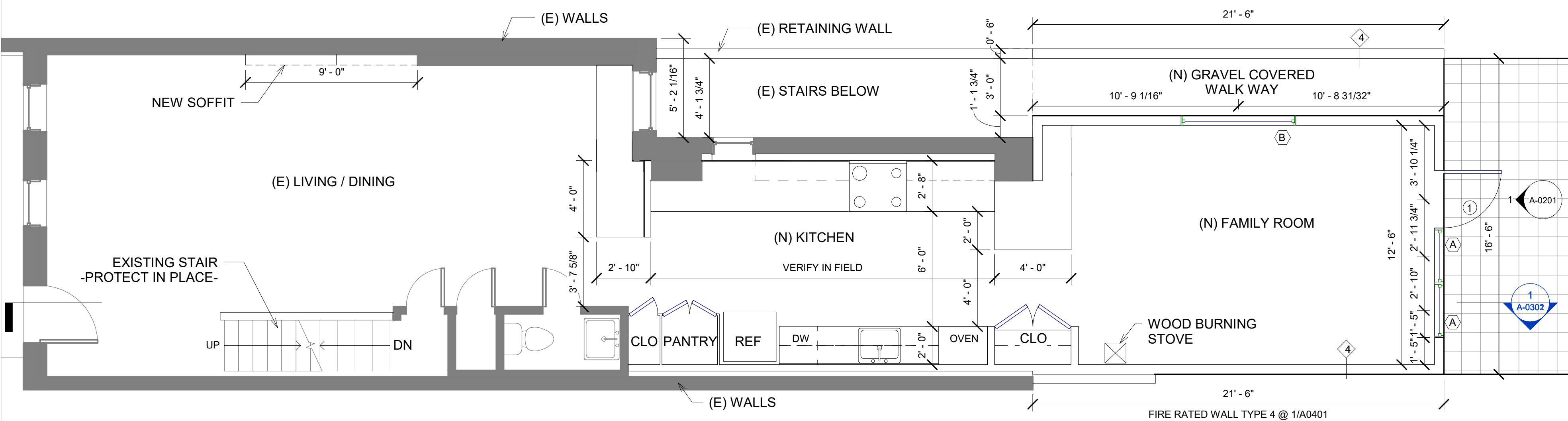
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Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0100**  
Cellar Plan





2 LEVEL 02  
1/4" = 1'-0"

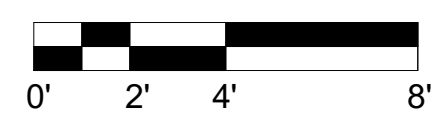
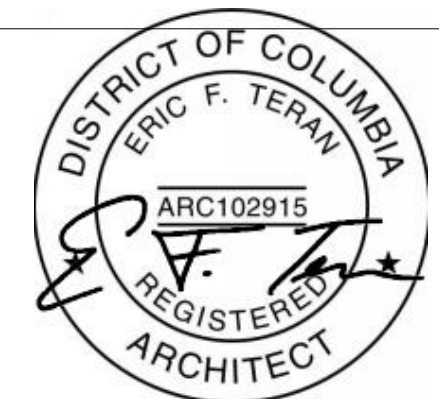


1 LEVEL 01  
1/4" = 1'-0"

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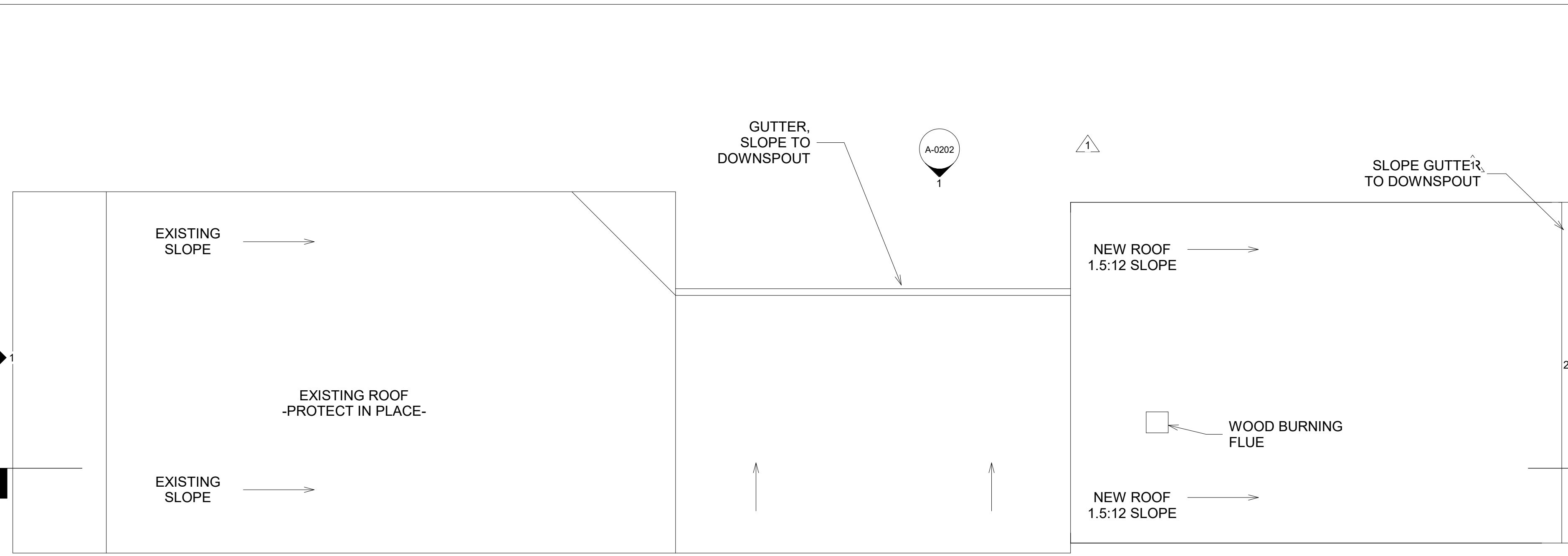
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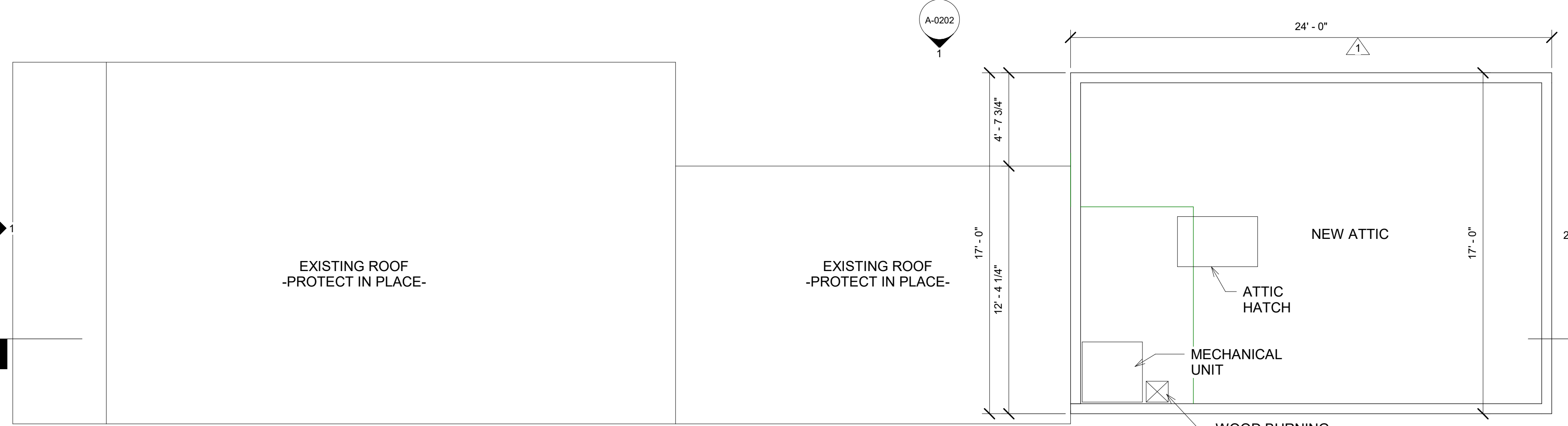


FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0101**  
Floor Plans



② ROOF  
1/4" = 1'-0"



① LEVEL 03 - ATTIC  
1/4" = 1'-0"

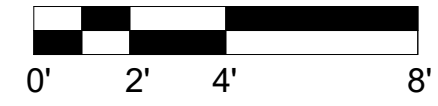


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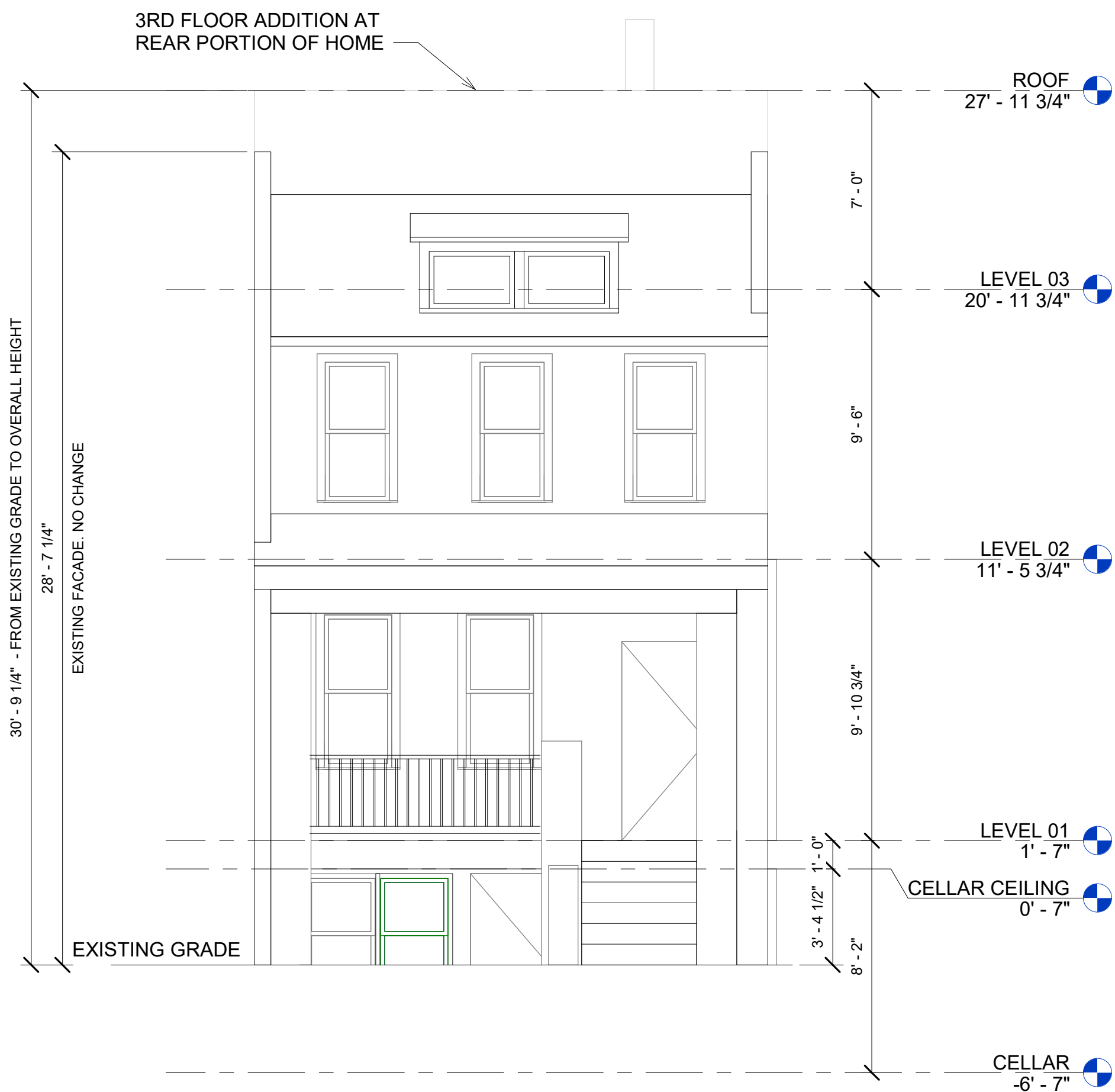
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FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

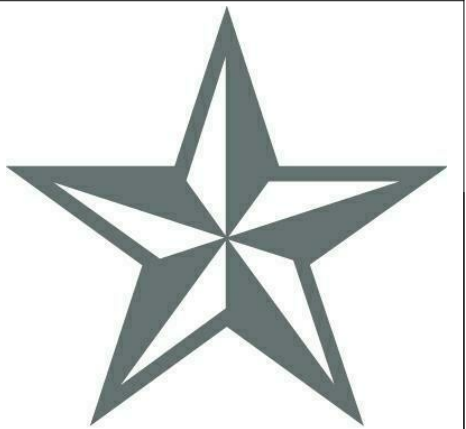
**A-0102**  
Floor/Roof  
Plans



② FRONT ELEVATION  
1/4" = 1'-0"



① REAR ELEVATION  
1/4" = 1'-0"



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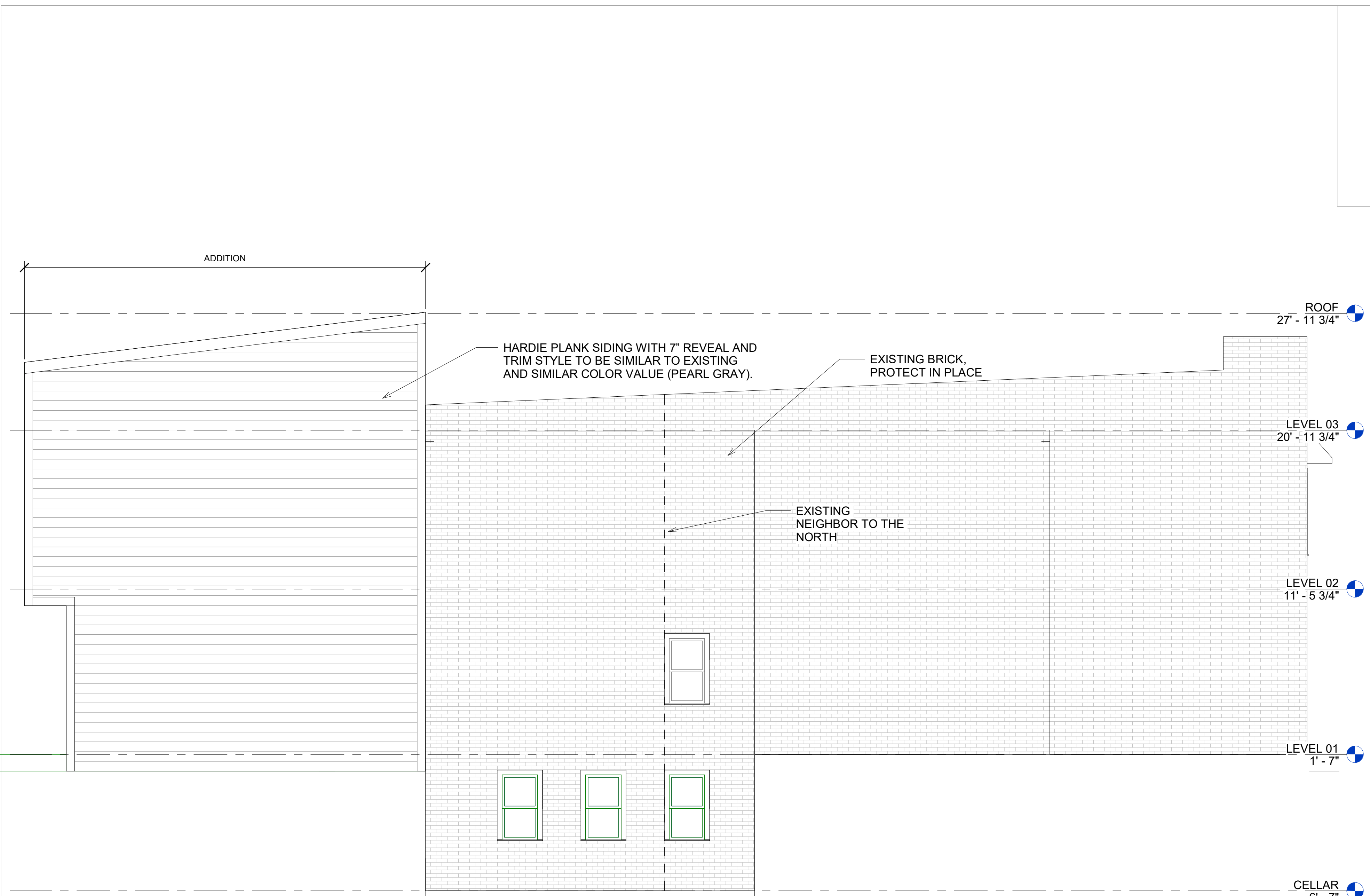
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FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0201**  
Elevations



**BLUE  
STAR**

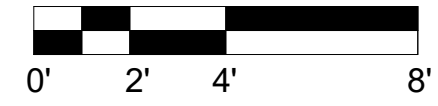
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WARD RESIDENCE

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① NORTH ELEVATION  
1/4" = 1'-0"



FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0202**  
ELEVATION

ROOF  
27' - 11 3/4"

LEVEL 03  
20' - 11 3/4"

LEVEL 02  
11' - 5 3/4"

LEVEL 01  
1' - 7"

CELLAR  
-6' - 7"

HARDIE PLANK SIDING WITH 7" REVEAL AND TRIM STYLE TO BE SIMILAR TO EXISTING AND SIMILAR COLOR VALUE (PEARL GRAY).

24' - 0"



EXISTING NEIGHBOR TO THE SOUTH

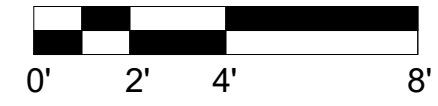
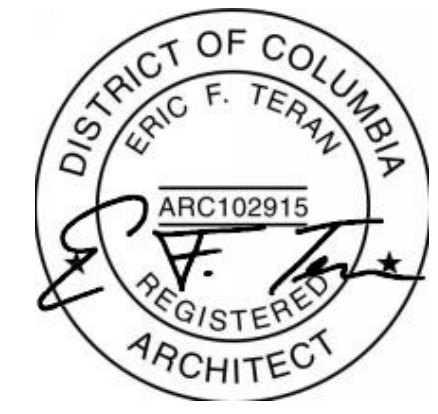


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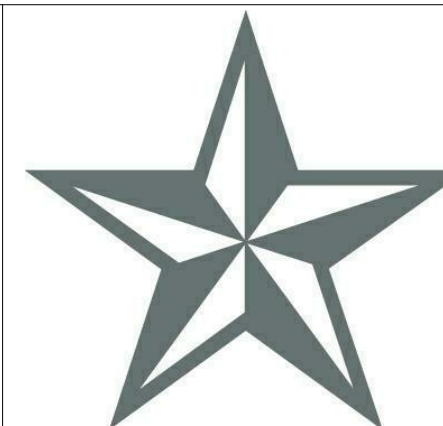
WARD RESIDENCE  
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FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0203**  
ELEVATION





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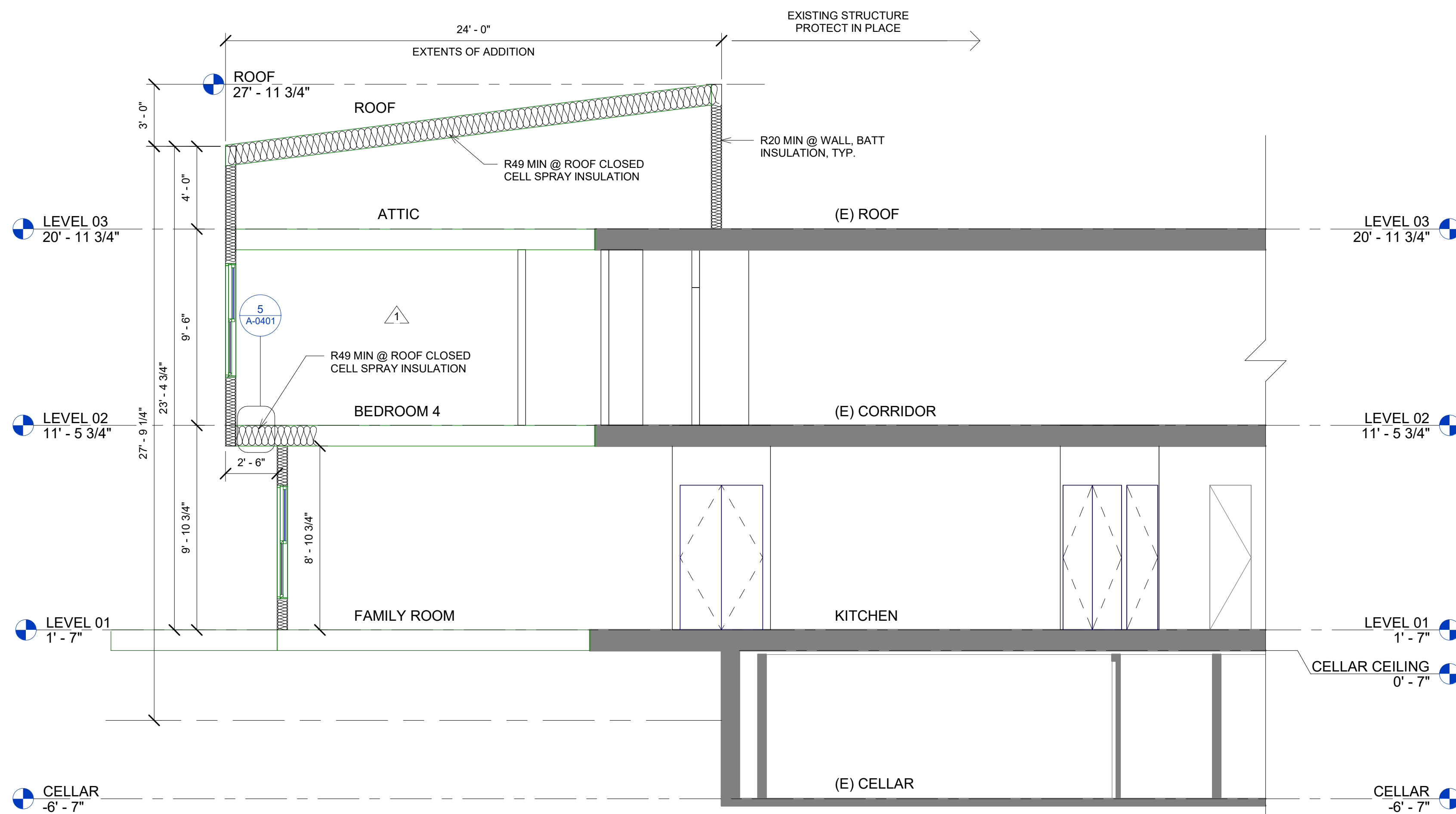
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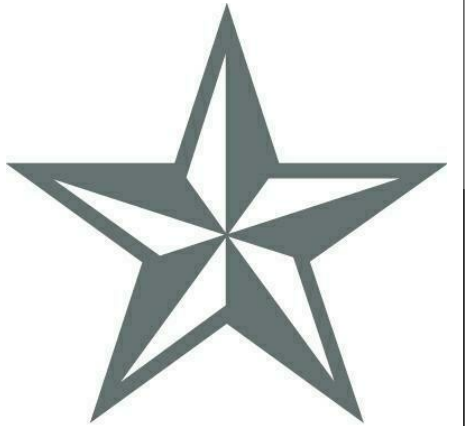
**WARD RESIDENCE**  
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FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0301**  
Sections



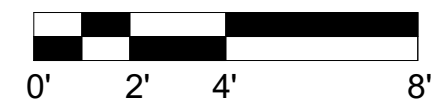
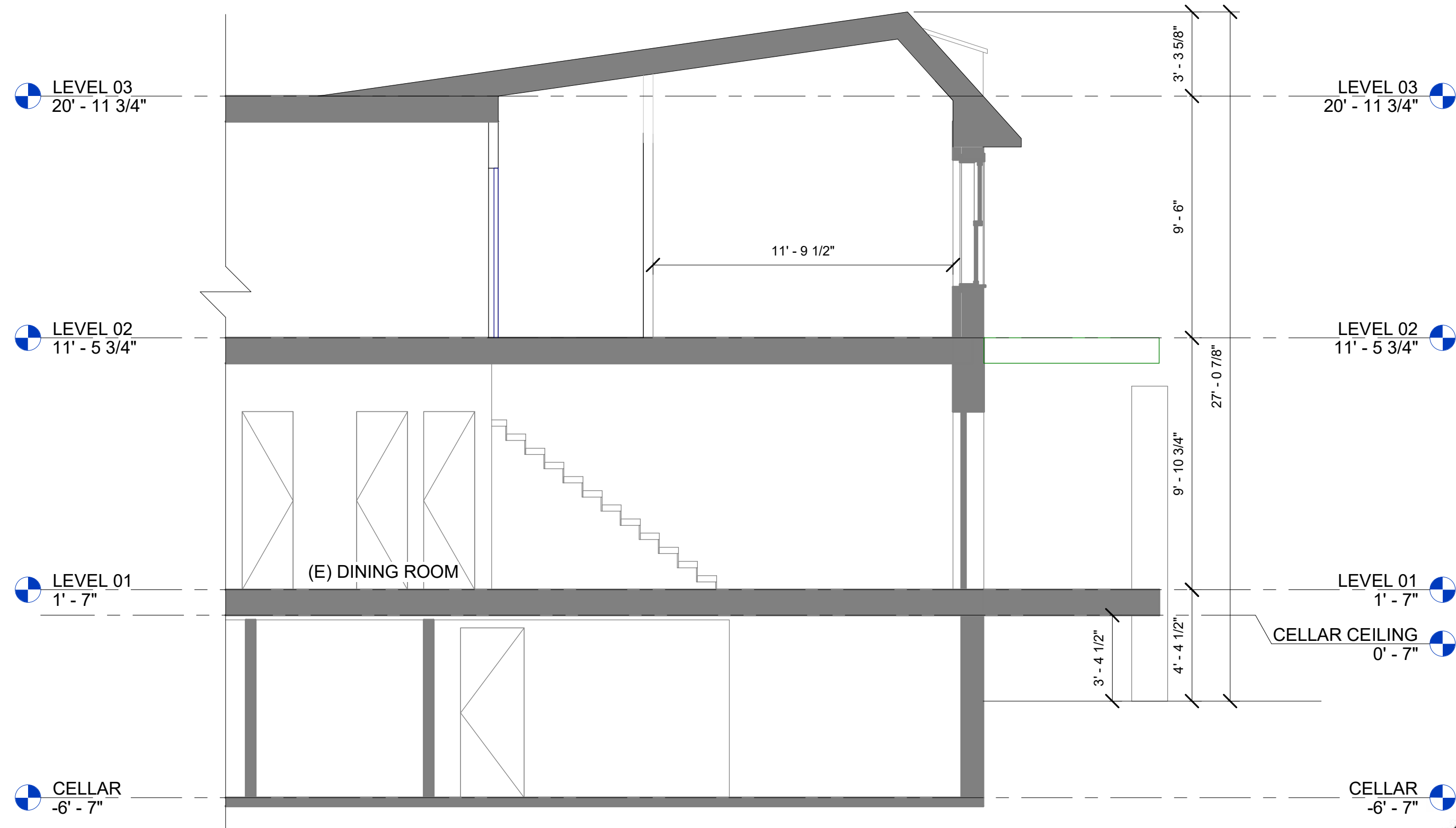


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FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**A-0302**  
Sections

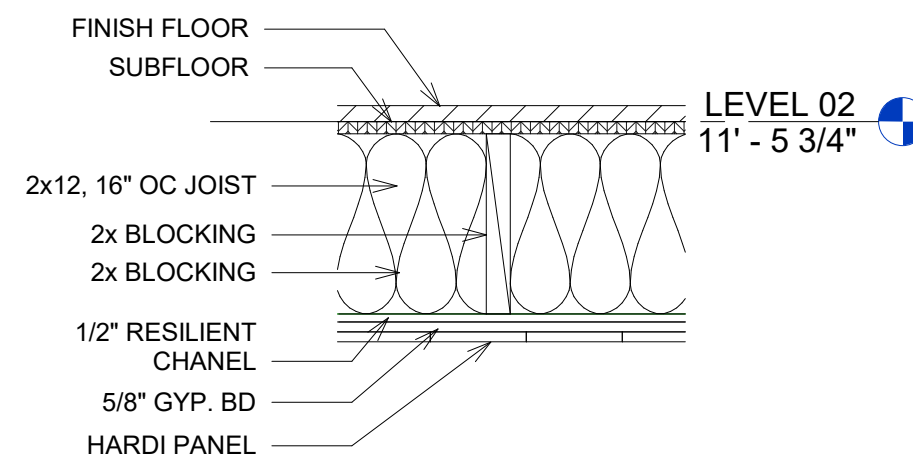
**PROPOSED DOOR, WINDOW & SKYLIGHT SCHEDULE**

ITEM	MANUFACTURER	U-FACTOR	SHGC	LOCATION	QUANT.	SCREEN	DESCRIPTION
1	PELLA OR EQUAL	0.29	0.21	1ST FL	1	YES	60"W x 80" H GLASS OUT SWING HINGED PATIO DOOR (ALUM. CLAD)
2	PER CONTRACTOR	-	-	2ND FL	5	NO	32"W x 80" H INSWING, FLUSH PANEL
3	PER CONTRACTOR	-	-	2ND FL	1	NO	24"W x 80" H INSWING, FLUSH PANEL
4	PER CONTRACTOR	-	-	2ND FL	1	NO	30"W x 80" H BARN SLIDING DOOR
5	PER CONTRACTOR	-	-	2ND FL	2	NO	28"W x 80" H GLASS, SLIDING, CLEAR, TEMPERED
6	PER CONTRACTOR	-	-	2ND FL	1	NO	48"W x 80" H BI-FOLDING DOOR
7	PER CONTRACTOR	-	-	2ND FL	1	NO	30"W x 80" POCKET SLIDING DOOR
A	PELLA OR EQUAL	0.30	0.28	1ST FL REAR	2	YES	30"W x 84" H GLASS, FIXED (ALUM. CLAD), TEMPER
B	PELLA OR EQUAL	0.30	0.28	1ST FL SIDE	1	YES	72"W x 60" H GLASS, DOUBLE HUNG (ALUM. CLAD)
C	PELLA OR EQUAL	0.30	0.28	2ND FL REAR (BEDROOM)	4	YES	30"W x 68" H GLASS, DOUBLE HUNG (ALUM. CLAD)
D	PELLA OR EQUAL	0.30	0.28	ATTIC	3	YES	30"W x 48" H GLASS, FIXED (ALUM. CLAD)
E	PELLA OR EQUAL	0.30	0.28	1ST FL REAR	1	YES	60"W x 18" H GLASS, CASEMENT (ALUM. CLAD), TEMPER
F	PELLA OR EQUAL	0.30	0.28	2ND FL	1	YES	30"W x 30" H GLASS, FIXED (ALUM. CLAD)
G	PELLA OR EQUAL	0.30	0.28	ATTIC	2	YES	30"W x 48" H GLASS, CASEMENT (ALUM. CLAD)

**TABLE R402.4.1.1  
AIR BARRIER and INSULATION INSTALLATION**

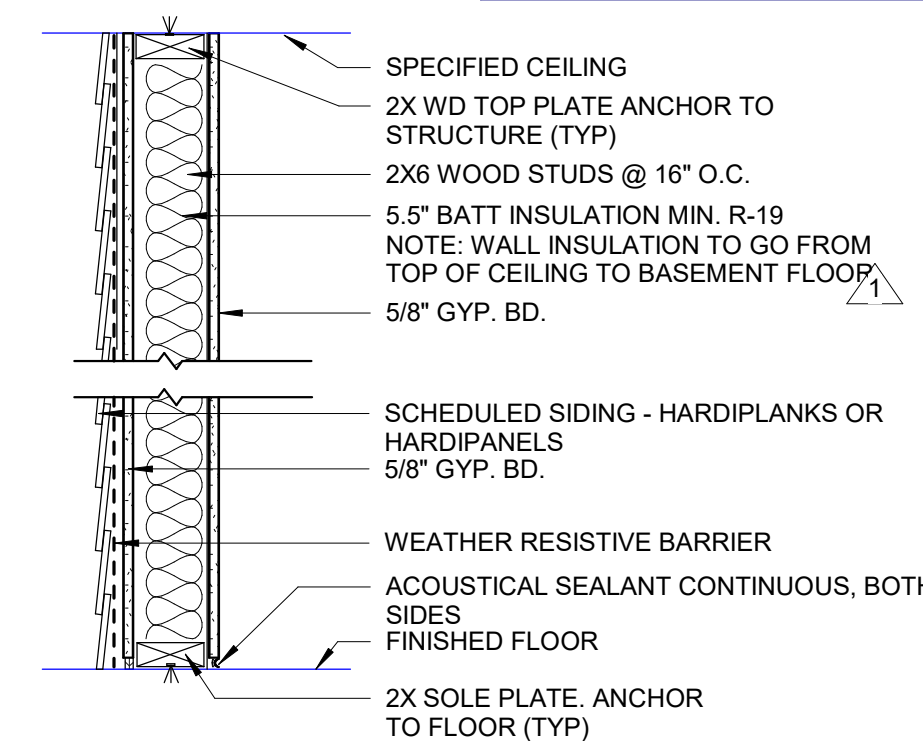
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
<b>General requirements</b>	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
<b>Ceiling/attic</b>	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
<b>Walls</b>	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
<b>Windows, skylights and doors</b>	The space between window/door jambs and framing and skylights and framing shall be sealed.	
<b>Rim joists</b>	Rim joists shall include the air barrier.	Rim Joists shall be insulated.
<b>Floors (including above-garage and cantilevered floors)</b>	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
<b>Crawl Space walls</b>	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided, instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
<b>Shafts, penetrations</b>	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
<b>Narrow cavities</b>		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
<b>Garage separation</b>	Air sealing shall be provided between the garage and conditioned spaces.	
<b>Recessed lighting</b>	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
<b>Plumbing and wiring</b>		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
<b>Shower/tub on exterior wall</b>	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
<b>Electrical/phone box on exterior walls</b>	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
<b>HVAC register boots</b>	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
<b>Concealed sprinklers</b>	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

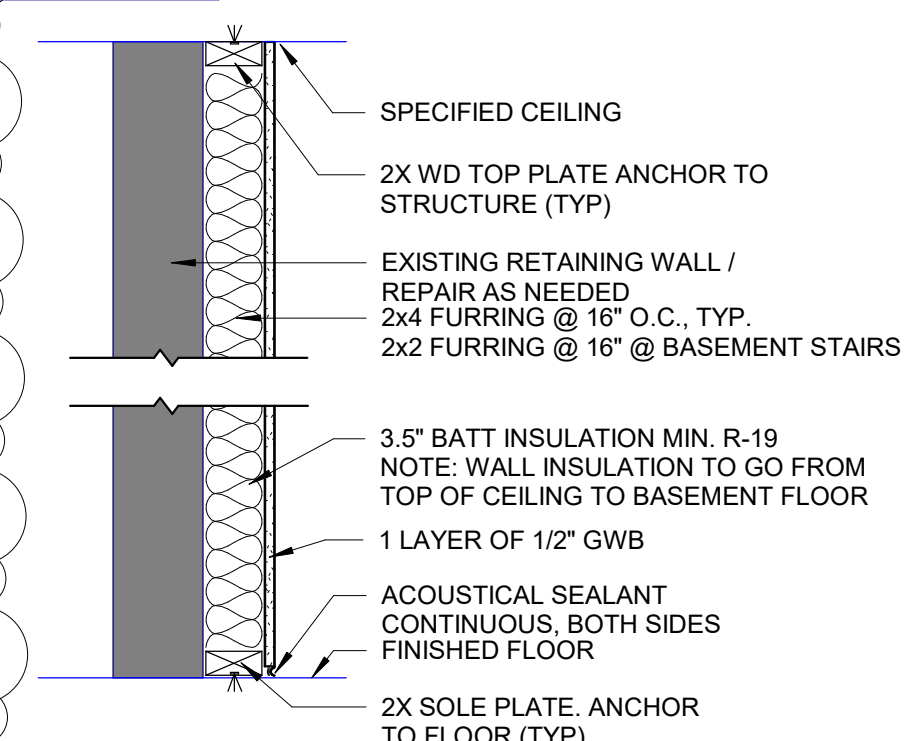


**5 FLOOR OVERHANG**  
1" = 1'-0"

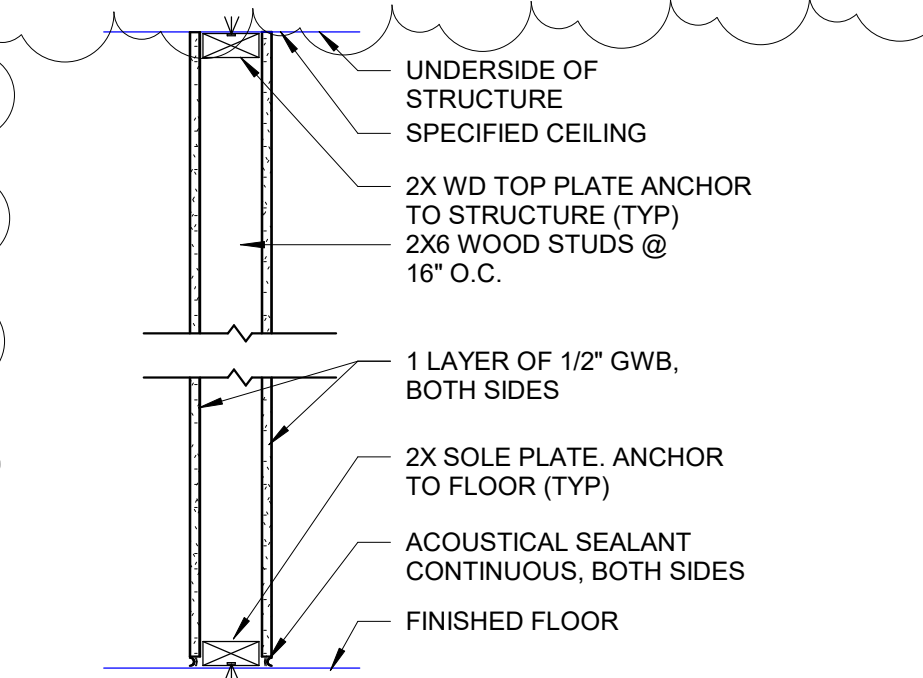
NOTE: RE. ARCH PLANS FOR PARTITION LOCATIONS



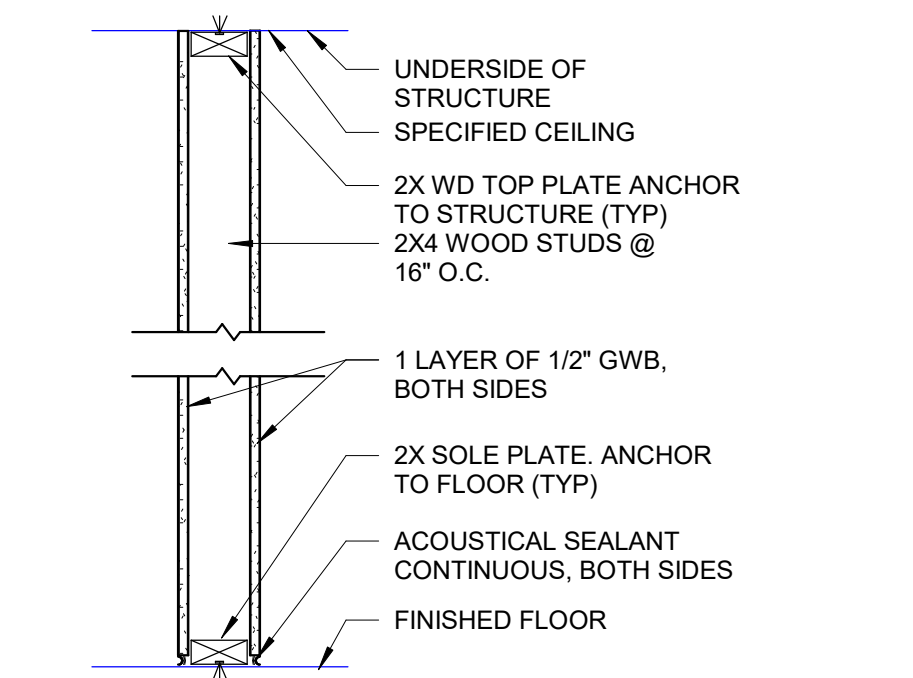
**4 PERIMETER WALL TYP. U.N.O.**  
1HR RATED BEARING WALL 1-HR UL U305  
SCALE: NOT TO SCALE



**3 BELOW GRADE WALL**  
SCALE: NOT TO SCALE



**2 2x6 INTERIOR PARTITION**  
SCALE: NOT TO SCALE



**1 2x4 INTERIOR PARTITION TYP. U.N.O.**  
SCALE: NOT TO SCALE



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OWNERS:  
SEAN WARD  
913 7th St  
Washington, DC 20002

**WARD RESIDENCE**  
913 7th St, NE  
Washington, DC 20002

FILE: PERMIT SET  
Date: 4/24/2019  
Scale: As indicated

**A-0401**  
Details

GENERAL DEMO NOTES

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.

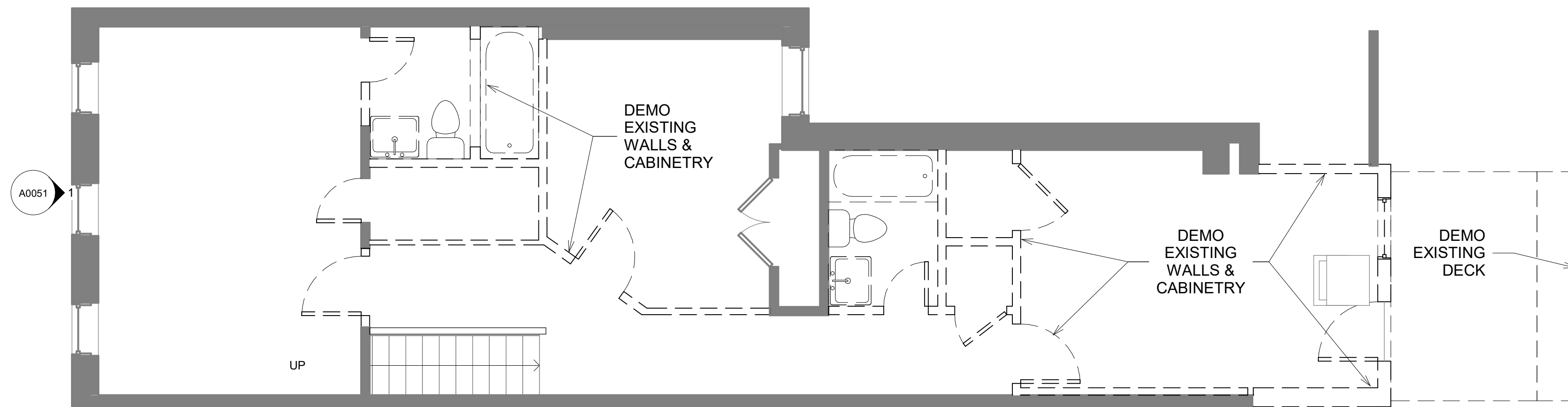
2. ALL WALLS, DOORS, FRAMES, ETC. SHOWN DASHED SHALL BE REMOVED COMPLETELY, UON.

3. WALLS TO BE REMOVED SHALL BE REMOVED FROM FLOOR TO STRUCTURE ABOVE. REMOVAL SHALL INCLUDE ALL ARCHITECTURAL, MECHANICAL, & ELECTRICAL ACCESSORIES, EQUIPMENT, ETC.

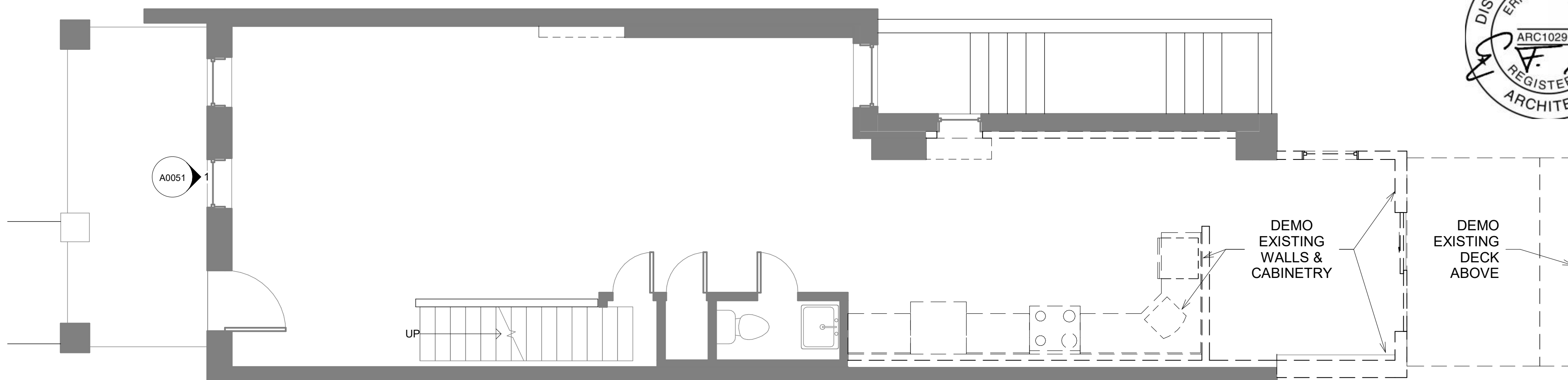
4. WHERE AN EXISTING DOOR IS INDICATED FOR REMOVAL THE DOOR FRAME SHALL ALSO BE REMOVED UNLESS OTHERWISE NOTED. SALVAGE ALL DOORS AND TRIM.

5. DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION. ALL PATCHING SHALL BE FLUSH WITH SURROUNDING SURFACES AND LEVEL WITHIN TOLERANCES SPECIFIED FOR THE SPECIFIC MATERIAL. IF MATERIAL IS NOT SPECIFIED, MAINTAIN EXISTING PLANES WITHIN 1/8" IN 10 FEET, NON-CUMULATIVE.

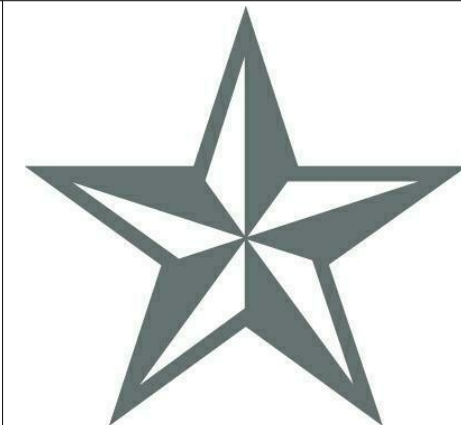
6. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. MINOR ITEMS, THAT REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL ALSO BE REMOVED



2 LEVEL 02 - DEMO  
1/4" = 1'-0"



1 LEVEL 01 - DEMO  
1/4" = 1'-0"



**BLUE STAR**

DRAWINGS PROVIDED BY:  
BLUE STAR  
265 KENTUCKY AVE, SE  
WASHINGTON, DC 20003  
BlueStarDesignBuild.com

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Washington, DC 20002

WARD RESIDENCE

913 7th St, NE  
Washington, DC 20002

FILE: PERMIT SET  
Date: 4/24/2019  
Scale: 1/4" = 1'-0"

**D-0001**  
Demo Plans